

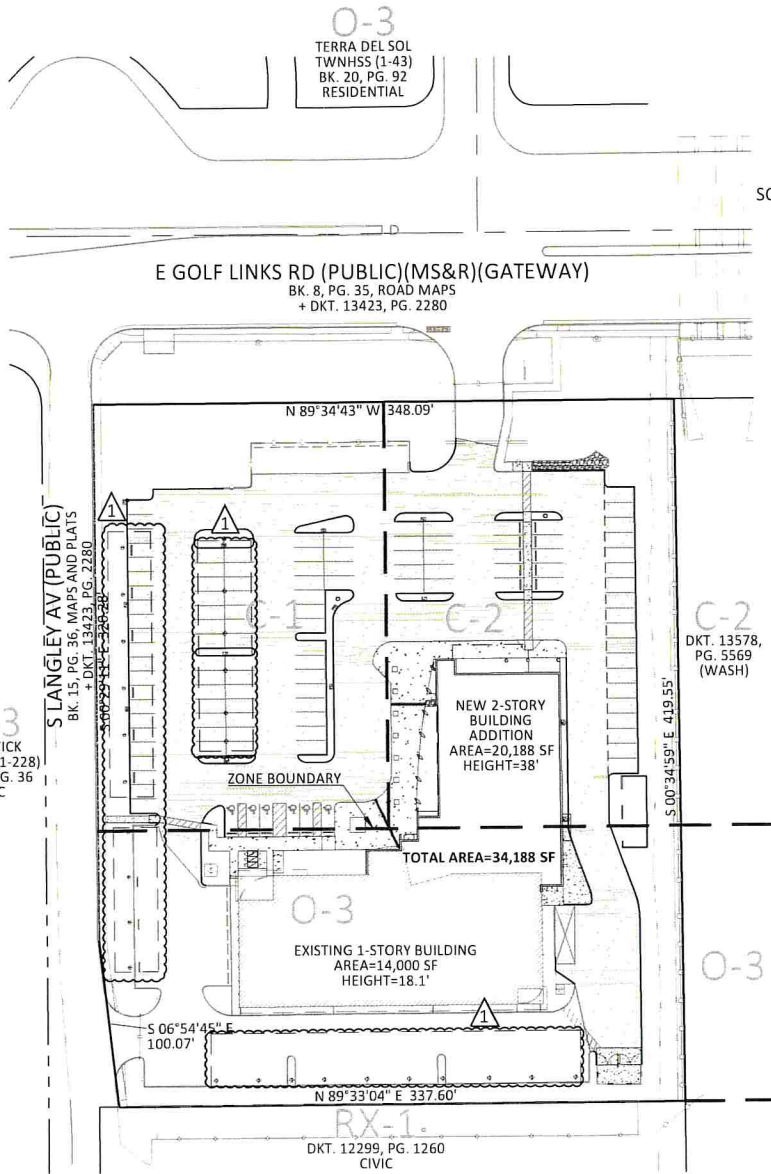
GENERAL NOTES

1. OWNER/DEVELOPER:
EL RIO COMMUNITY HEALTH CENTER
3480 EAST BRITANNIA DRIVE, SUITE 120
TUCSON, ARIZONA 85706
ATTN: RICHARD SPAULDING
PH: (520) 977-0789
EMAIL: richardgs@elrio.org
2. THE EXISTING ZONING IS C-1, C-2, AND O-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT. ALL STRUCTURES ARE WITHIN O-3 AND C-2 ZONES. THE DEVELOPMENT WAS PREVIOUSLY RE-ZONED PER CASE #C9-05-21.
3. THE EXISTING USE TO REMAIN IS MEDICAL SERVICE - OUTPATIENT (EXCLUDING BLOOD DONOR CENTERS), SUBJECT TO USE SPECIFIC STANDARDS 4.9.4.O.2, 4.9.13.K AND 4.9.13.P.
4. THE GROSS SITE AREA IS 145,660 SQUARE FEET, OR 3.34 ACRES. LOT AREA SPECIFIC TO ZONE C-1 IS 44,381.30. LOT AREA SPECIFIC TO ZONE C-2 IS 44,436.25. LOT AREA SPECIFIC TO ZONE O-3 IS 56,842.45.
5. THE TOTAL BUILDING GFA IS 34,188 SF. THE TOTAL PAVED AREA IS 90,984 SF ±.
6. THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 77,500 SF.
7. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
8. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
9. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
10. ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
11. ON-SITE SANITARY SEWERS ARE EXISTING AND ARE TO REMAIN. NO NEW SEWERS ARE PROPOSED.
12. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
13. ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMP (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

GENERAL NOTES (cont.)

14. DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C-2 ZONING:
- LOT COVERAGE CALCULATION:
MAXIMUM = N/A
ACTUAL = 96,199/145,660 = 66.0%
- MAXIMUM BUILDING HEIGHT = 40'
ACTUAL BUILDING HEIGHT = 38' MAX.
- BUILDING SETBACKS:
- | | | | |
|---------------------|---|-------|----------------------|
| NORTH | - | H=38' | PROVIDED 190.8' MIN. |
| EAST | - | 0' | 66.3' MIN. |
| SOUTH | - | N/A | N/A |
| WEST (STREET, SIDE) | - | 10' | 189.8' MIN. |
- *MEASURED FROM EXISTING BACK OF CURB
- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR O-3 ZONING:
- LOT COVERAGE CALCULATION:
MAXIMUM = N/A
ACTUAL = 96,199/145,660 = 66.0%
- MAXIMUM BUILDING HEIGHT = 40'
ACTUAL BUILDING HEIGHT = 38' MAX.
- BUILDING SETBACKS:
- | | | | |
|---------------------|---|------------|----------------------|
| NORTH | - | H=38' | PROVIDED 189.8' MIN. |
| EAST | - | 3/4H=28.5' | 66.3' MIN. |
| SOUTH | - | 3/4H=28.5' | 55.2' MIN. |
| WEST (STREET, SIDE) | - | 10' | 78.6' MIN. |
- *MEASURED FROM EXISTING BACK OF CURB
15. PARKING REQUIREMENTS FOR MEDICAL SERVICE - OUTPATIENT:
- MOTOR VEHICLE: 1 SPACE PER 200 SF OF GFA
TOTAL REQUIRED = 34,188/200 = 171 SPACES
TOTAL PROVIDED = 173 SPACES
- ACCESSIBLE SPACES REQUIRED = 6 SPACES
ACCESSIBLE SPACES PROVIDED = 6 SPACES
- BICYCLE PARKING:
SHORT TERM: 1 SPACE PER 5,000 SF (2 MIN.)
TOTAL REQUIRED = 34,188/5,000 = 7 SPACES
TOTAL PROVIDED = 10 SPACES*
*FOUR SHORT-TERM SPACES ARE EXISTING
- LONG TERM: 1 SPACE PER 12,000 SF (2 MIN.)
TOTAL REQUIRED = 34,188/12,000 = 3 SPACES
TOTAL PROVIDED = 10 SPACES*
*FOUR LONG-TERM SPACES ARE EXISTING
- LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 1 SPACE
16. A FREESTANDING MONUMENT SIGN AND PARKING AREA LIGHTING ARE CURRENTLY PROVIDED WITHIN THIS DEVELOPMENT AND ARE TO REMAIN.
17. MAIL SERVICE TO REMAIN INSIDE THE BUILDING.
18. WASTE STREAM CALCULATION:
PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 30.8 TONS OF SOLID WASTE PER YEAR (EQUATING TO 395 GALLONS PER WEEK). A MINIMUM OF 2 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.
THIS WILL BE ACCOMPLISHED BY ONE 2-CUBIC-YARD TRASH BIN AND ONE 2-CUBIC-YARD RECYCLING BIN BEING PICKED UP ONCE PER WEEK.
19. THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R); AND UDC SEC. 5.5, GATEWAY CORRIDOR ZONE (GCZ).
20. SITE EXPANSION CALCULATION:
AREA OF EXISTING BUILDINGS/COVERED STRUCTURES = 14,000 SF
AREA OF STRUCTURES APPROVED BY D08-007 (BUT NOT BUILT) = 19,000 SF
TOTAL AREA OF APPROVED STRUCTURES = 33,000 SF
AREA OF EXISTING STRUCTURES BEING REMOVED = 0 SF
AREA OF NEW BUILDINGS/COVERED STRUCTURES = 20,188 SF
EXPANSION PERCENTAGE = (20,188-19,000)/33,000 = +3.6%
- AREA OF EXISTING PAVEMENT = 81,268 SF
AREA OF EXISTING PAVEMENT BEING REMOVED = 52,753 SF
AREA OF NEW PAVEMENT = 62,469 SF
EXPANSION PERCENTAGE = (62,469-52,753)/81,268 = +12.0%

DEVELOPMENT PACKAGE for
EL RIO SOUTHEAST EXPANSION



PROJECT OVERVIEW PLAN

SHEET INDEX

- | | | |
|-------------------------------|-----------------------|------------------------|
| 1. COVER SHEET | 6. DETAILS | 11. LANDSCAPE DETAILS |
| 2. NOTES | 7. LANDSCAPE COVER | 12. LANDSCAPE DETAILS |
| 3. SITE PLAN | 8. SCHEDULE AND NOTES | 13. IRRIGATION DETAILS |
| 4. GRADING + DRAINAGE PLAN | 9. LANDSCAPE PLAN | |
| 5. UTILITIES + EASEMENTS PLAN | 10. IRRIGATION PLAN | |

ARCHITECT

BWS ARCHITECTS
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ATTN: MS. TARYN MCGANN
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E: tmcgann@bwsarchitects.com

LANDSCAPE ARCHITECT

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NO.	DATE	REVISION DESCRIPTION	BY
Δ	2/14/19	NEW SOLAR CANOPIES; UNDERGROUND ELECTRIC; GRADING CLARIFICATION	KMH

OWNER/DEVELOPER	EL RIO COMMUNITY HEALTH CENTER 3480 EAST BRITANNIA DRIVE, SUITE 120 TUCSON, ARIZONA 85706 ATTN: RICHARD SPAULDING PH: (520) 977-0789 EMAIL: richardgs@elrio.org
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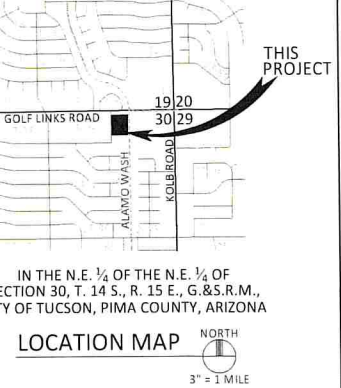
CYPRESS PROJECT NO: 17.086	2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com
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A PORTION OF THE N.E. 1/4 OF THE N.E. 1/4 OF SECTION 30, T. 14 S., R. 15 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
EL RIO SOUTHEAST EXPANSION
cover sheet

LEGEND

PROJECT BOUNDARY	EXISTING SEWER MANHOLE
RIGHT-OF-WAY	EXISTING SEWER CLEANOUT
OTHER PARCEL LINE	EXISTING WATER METER
ROADWAY CENTERLINE	EXISTING BACKFLOW PREVENTER
EXISTING EASEMENT	EXISTING WATER VALVE
EXISTING CONTOUR	EXISTING FIRE HYDRANT
SPOT ELEV. (NEW GRADE)	EXISTING FIRE CONNECTION
SPOT ELEV. (EXIST. GRADE)	EXISTING ELECTRIC METER
ZONE BOUNDARY	EXISTING LIGHT PULL BOX
EXISTING PAVEMENT EDGE	EXISTING POWER POLE
EXISTING CURB	NEW SEWER
EXISTING PAINT STRIPE	NEW WATER
EXISTING CONCRETE	NEW FIRE SERVICE
EXISTING FENCE	NEW SIGN
EXISTING RAILING	NEW STREET/TRAFFIC LIGHT
NEW CURB	NEW FIRE HYDRANT
NEW PAINT STRIPE	NEW TRANSFORMER
NEW ASPHALT	NEW ELECTRIC EQUIPMENT
NEW CONCRETE	NEW COMMUNICATION PEDESTAL
NEW RAILING	SURVEY MONUMENTATION AS NOTED
NEW WALL	PARKING SPACE COUNT
NEW RIPRAP	ZONING DIVISION
EXISTING SIGN	SIGHT VISIBILITY TRIANGLE
EXISTING STREET/TRAFFIC LIGHT	R.O.W.
EXISTING STORM DRAIN MANHOLE	R
EXISTING STORM DRAIN PIPE	P
EXISTING SEWER	C
EXISTING WATER	FFE
EXISTING UNDERGROUND ELECTRIC	INV
EXISTING OVERHEAD ELECTRIC	B.O.C.



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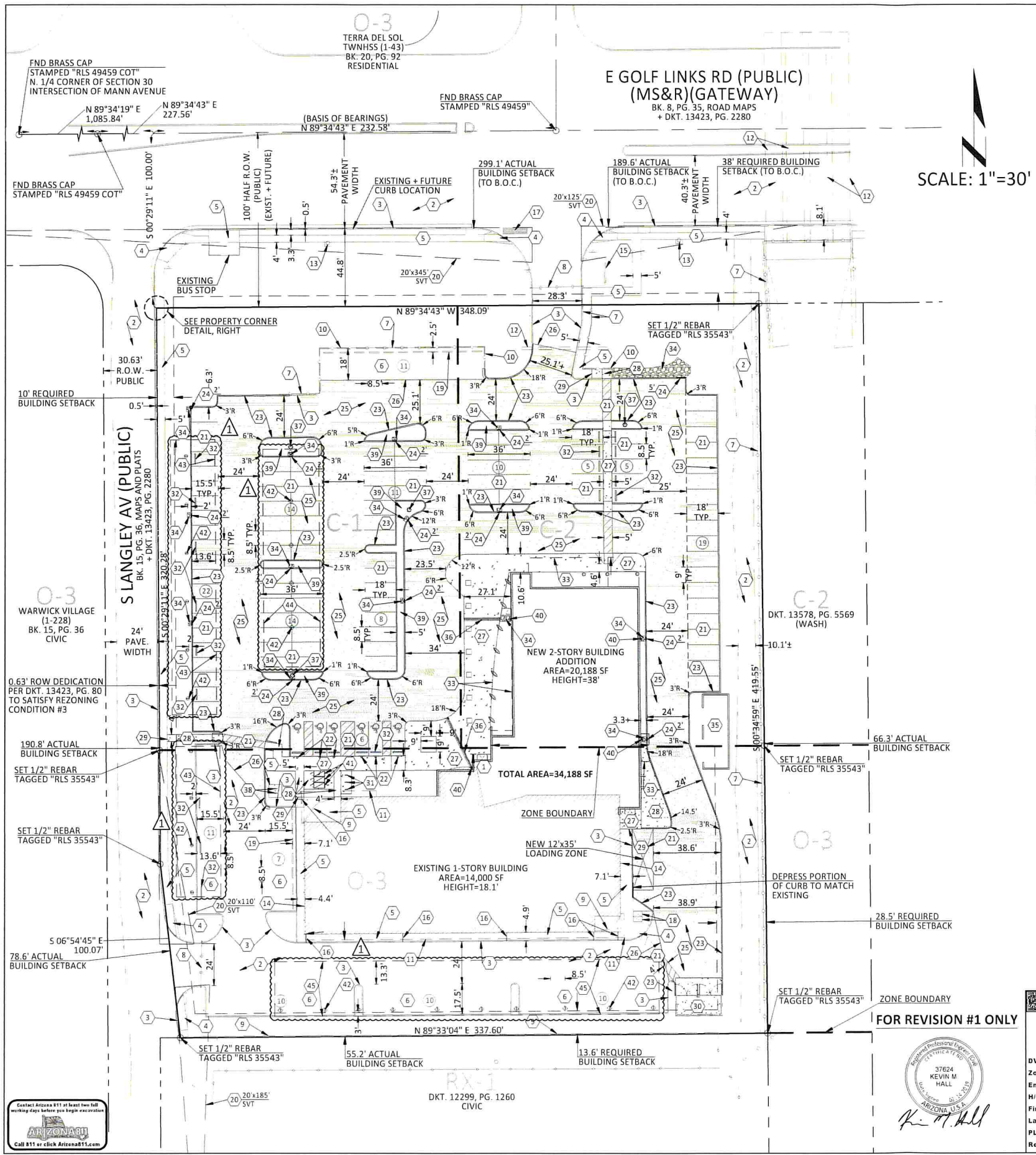
CITY OF TUCSON
DEVELOPMENT PACKAGE
PDSD APPROVAL

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<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

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Zoning _____ Date _____
Engineering _____ Date _____
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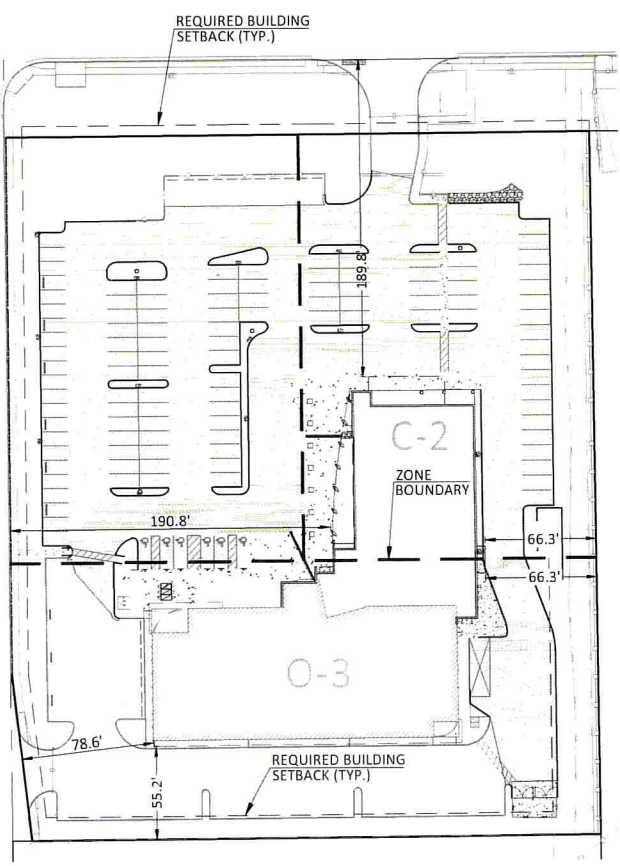
CYPRESS PROJECT NO: 17.086
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e: kmhall@cypresscivil.com



KEYNOTES

- 1 PRIMARY BUILDING ENTRANCE.
- 2 EXISTING ASPHALT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CURB ACCESS RAMP TO REMAIN.
- 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
- 6 EXISTING STRIPING TO REMAIN.
- 7 EXISTING RAILING TO REMAIN.
- 8 EXISTING GATE TO REMAIN.
- 9 EXISTING SITE WALL TO REMAIN.
- 10 EXISTING RETAINING WALL TO REMAIN.
- 11 EXISTING CANOPY/BUILDING OVERHANG TO REMAIN.
- 12 EXISTING CULVERT TO REMAIN.
- 13 EXISTING LIGHT TO REMAIN.
- 14 EXISTING BOLLARD TO REMAIN (TYP.).
- 15 EXISTING MONUMENT SIGN TO REMAIN.
- 16 EXISTING SCUPPER TO REMAIN.
- 17 EXISTING STORM DRAIN INLET TO REMAIN.
- 18 EXISTING BICYCLE LOCKER (TWO-SPACE) TO REMAIN.
- 19 EXISTING WHEEL STOP TO REMAIN (TYP.).
- 20 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
- 21 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 22 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL A, SHEET 6.
- 23 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL B, SHEET 6. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
- 24 NEW CURB OPENING PER DETAIL C, SHEET 6. SEE KEYNOTE FOR WIDTH.
- 25 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL D, SHEET 6.
- 26 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
- 27 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL E, SHEET 6.
- 28 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
- 29 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
- 30 NEW TRASH ENCLOSURE. SEE DETAIL F, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
- 31 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL G, SHEET 6. FOR RACK SPACING SEE DETAIL H, SHEET 6.
- 32 NEW 6" WHEEL STOP (TYP.). SEE DETAIL I, SHEET 6.
- 33 NEW BUILDING OVERHANG PER BUILDING PLANS.
- 34 NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. 3" WIDE TYPICAL. FOR OTHER DIMENSIONS, SEE DETAIL J, SHEET 6.
- 35 NEW UTILITY ENCLOSURE PER BUILDING PLANS.
- 36 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. CONNECT TO BUILDING DOWNSPOUT WHEN LOCATED DIRECTLY AT DOWNSPOUT.
- 37 NEW SITE/PARKING LIGHT PER SEPARATE PLAN. OWNER/ARCHITECT TO PROVIDE DETAILS.
- 38 EXISTING SHORT-TERM BICYCLE RACK (ONE-SPACE) TO REMAIN.
- 39 DEPRESSED LANDSCAPE AREA (6" MAX.).
- 40 NEW BUILDING DOWNSPOUT. SEE BUILDING PLANS.
- 41 NEW LONG TERM BICYCLE PARKING (DOUBLE). SEE DETAIL K, SHEET 6. FOR LOCKER SPACING SEE DETAIL H, SHEET 6.
- 42 NEW CANOPY COLUMNS AND FOUNDATIONS PER SEPARATE PLAN, TYPICAL.
- 43 NEW PARKING CANOPY WITH SOLAR PANELS PER SEPARATE PLAN. SEE SECTION 2, SHEET 4.
- 44 NEW PARKING CANOPY WITH SOLAR PANELS PER SEPARATE PLAN. SEE SECTION 3, SHEET 4.
- 45 NEW PARKING CANOPY WITH SOLAR PANELS PER SEPARATE PLAN. SEE SECTION 4, SHEET 4.

PROPERTY CORNER DETAIL
SCALE: 1"=1'



PROVIDED BUILDING SETBACKS
SCALE: 1"=50'

DEVELOPMENT PACKAGE
PDSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
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HIC Site _____	Date _____
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PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY
1	2/14/19	NEW SOLAR CANOPIES; UNDERGROUND ELECTRIC; GRADING CLARIFICATION	KMH

CYPRESS PROJECT NO: 17.086
2030 east speedway boulevard
suite #110
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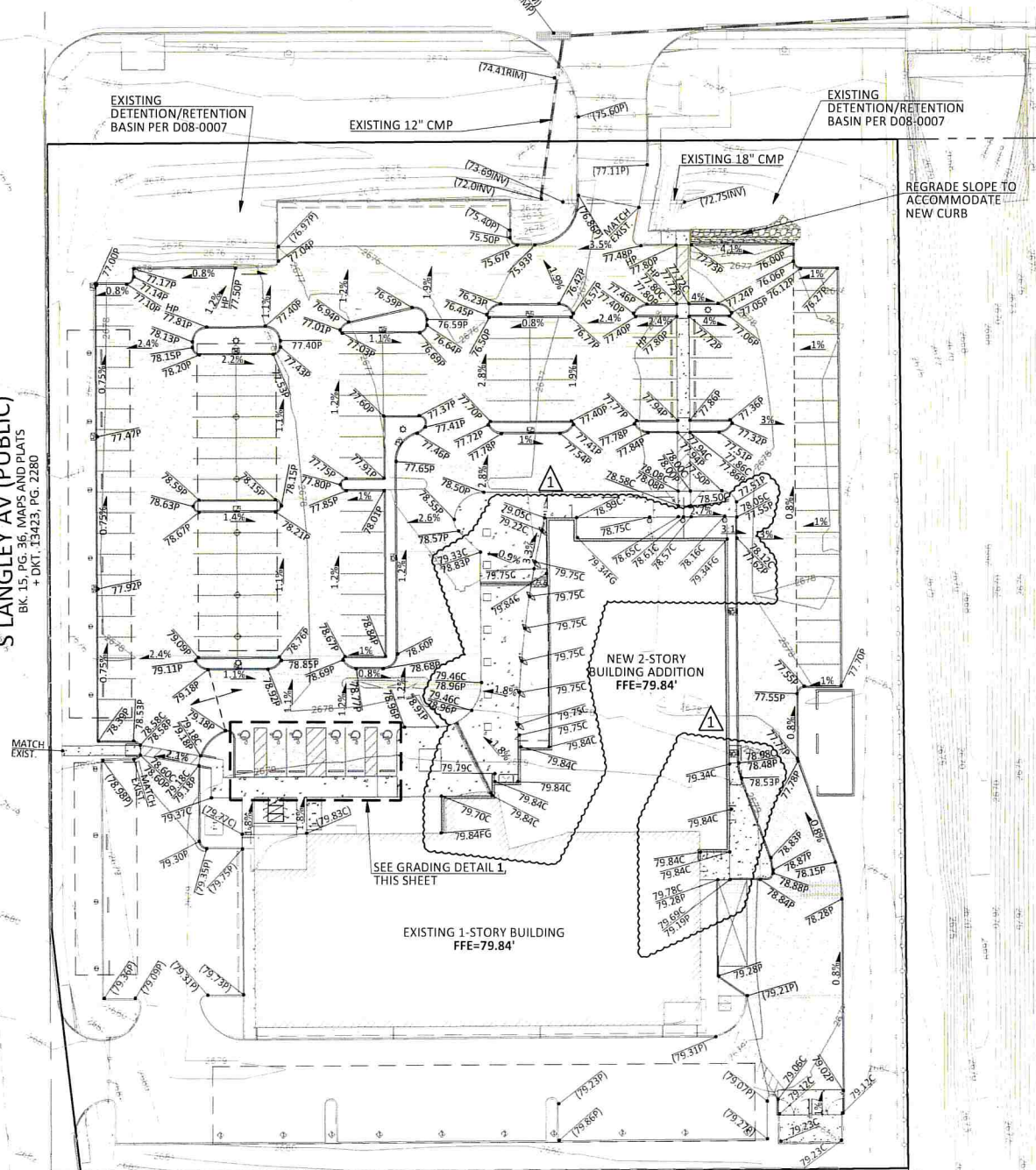
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SITE ADDRESS
6950 EAST GOLF LINKS ROAD TUCSON, ARIZONA 85730

DEVELOPMENT PACKAGE for
EL RIO SOUTHEAST EXPANSION
site plan

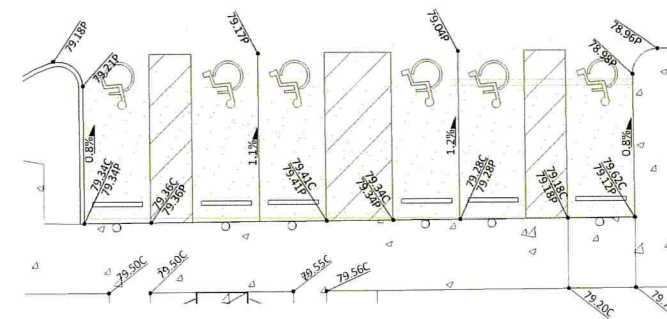
DP18-0016
REF: D08-0007; C9-05-21; T08SA00223
3 OF 13

E GOLF LINKS RD (PUBLIC)
(MS&R)(GATEWAY)
BK. 8, PG. 35, ROAD MAPS
+ DKT. 13423, PG. 2280

S LANGLEY AV (PUBLIC)
BK. 15, PG. 36, MAPS AND PLATS
+ DKT. 13423, PG. 2280

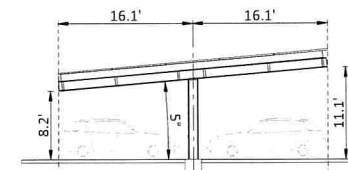


SCALE: 1"=30'
C.I. = 1 FOOT

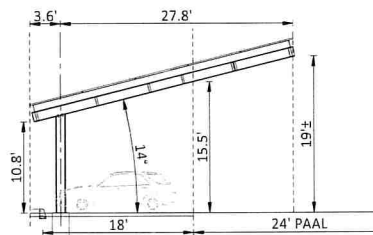


1 GRADING DETAIL
SCALE: 1"=10'

2 PARKING CANOPY PROFILE
SCALE: 1"=10'



3 PARKING CANOPY PROFILE
SCALE: 1"=10'



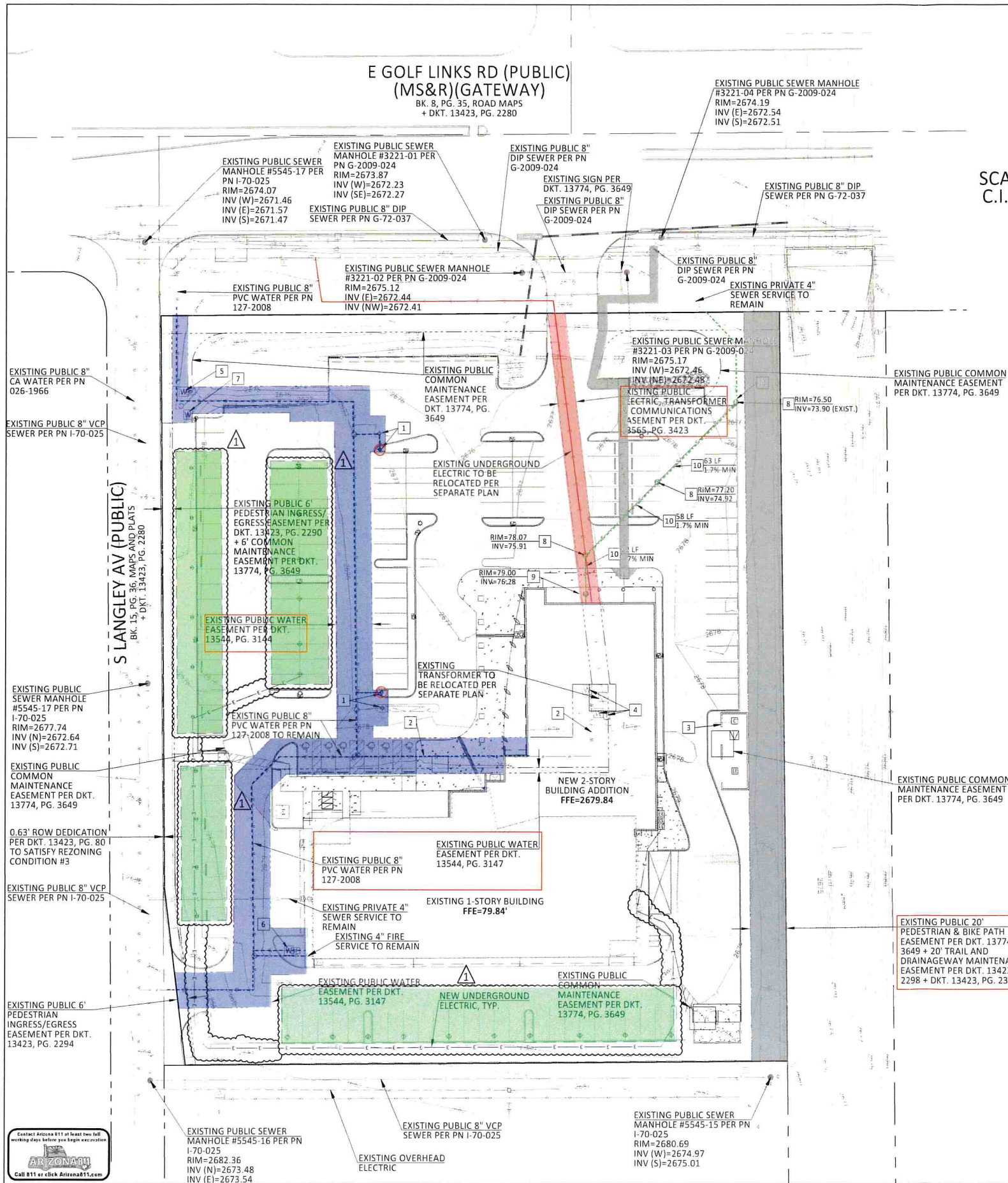
4 PARKING CANOPY PROFILE
SCALE: 1"=10'

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CITY OF TUCSON	
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CYPRESS PROJECT NO: 17.086			
2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com			
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A PORTION OF THE N.E. 1/4 OF THE N.E. 1/4 OF SECTION 30, T. 14 S., R. 15 E., G. & S. R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA			
DEVELOPMENT PACKAGE for EL RIO SOUTHEAST EXPANSION grading + drainage plan			



SCALE: 1"=30'
C.I. = 1 FOOT

- UTILITY KEYNOTES**
- 1 RELOCATE FIRE HYDRANT TO LOCATION SHOWN. CONTRACTOR TO COORDINATE WORK ORDER PROCESS WITH TUCSON WATER.
 - 2 EXISTING PUBLIC 8" WATER LINE TO BE REMOVED. CONTRACTOR TO COORDINATE WORK ORDER PROCESS WITH TUCSON WATER.
 - 3 NEW UTILITY ENCLOSURE PER BUILDING PLANS.
 - 4 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH UTILITY COMPANY.
 - 5 EXISTING 1" WATER METER AND BACKFLOW PREVENTER FOR IRRIGATION TO REMAIN.
 - 6 EXISTING 1-1/2" WATER METER AND BACKFLOW PREVENTOR TO REMAIN.
 - 7 EXISTING 2" WATER SERVICE AND METER BOX, NO METER, TO REMAIN.
 - 8 NEW 1-WAY SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT.
 - 9 NEW 2-WAY SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT. CONTRACTOR TO VERIFY INVERT INFORMATION WITH BUILDING PLUMBING PLAN.
 - 10 NEW PRIVATE 4" PVC SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - 11 CONNECT NEW PRIVATE 4" (SDR-35) PVC SEWER LINE TO EXISTING PRIVATE 4" PVC SERVICE. CONTRACTOR TO VERIFY INVERT AND CONDITION OF EXISTING PIPE PRIOR TO CONSTRUCTION.

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

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DEVELOPMENT PACKAGE PDSD APPROVAL <input type="checkbox"/> Site/Dev Plan <input type="checkbox"/> Tentative Plat <input type="checkbox"/> Grading <input type="checkbox"/> SWPPP <input type="checkbox"/> FUP	<input type="checkbox"/> SCZ <input type="checkbox"/> FRZ <input type="checkbox"/> HDZ <input type="checkbox"/> WASH <input type="checkbox"/> Other
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CYPRESS CIVIL DEVELOPMENT strength + sustainability 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com	CYPRESS PROJECT NO: 17.086
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**DEVELOPMENT PACKAGE for
EL RIO SOUTHEAST EXPANSION
utilities + easements plan**

DP18-0016
REF: D08-0007; C9-05-21; T08SA00223

LANDSCAPE DEVELOPMENT PACKAGE for EL RIO SOUTHEAST EXPANSION

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PH: (520) 977-0789
EMAIL: richardgs@elrio.org
- THE EXISTING ZONING IS C-1, C-2, AND O-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT. ALL STRUCTURES ARE WITHIN O-3 AND C-2 ZONES.
- THE EXISTING USE TO REMAIN IS MEDICAL SERVICE - OUTPATIENT (EXCLUDING BLOOD DONOR CENTERS), SUBJECT TO USE SPECIFIC STANDARDS 4.9.4.0.2, 4.9.13.K AND 4.9.13.P.
- THE GROSS SITE AREA IS 145,660 SQUARE FEET, OR 3.34 ACRES. LOT AREA SPECIFIC TO ZONE C-1 IS 44,381.30. LOT AREA SPECIFIC TO ZONE C-2 IS 44,436.25. LOT AREA SPECIFIC TO ZONE O-3 IS 56,842.45.
- THE TOTAL BUILDING GFA IS 34,188 SF. THE TOTAL PAVED AREA IS 90,984 SF.
- THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 77,500 SF.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM CITY OF TUCSON BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH T.S.M. SECTION 10-01.5.0.
- ALL NEW UTILITIES WILL BE UNDERGROUND.
- NO GRUBBING, GRADING, OR CONSTRUCTION WILL OCCUR ON THIS PROJECT SITE WHICH INCLUDES AREAS DESIGNATED TO BE RETAINED IN A NATURAL STATE UNTIL THOSE DESIGNATED AREAS ARE TEMPORARILY FENCED.
- A COPY OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES DURING CONSTRUCTION.
- UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES OR AGENCIES. UTILITY LOCATIONS SHOWN ARE APPROXIMATE, AND THERE MAY BE EXISTING UTILITIES IN SERVICE EXISTS. THE CONTRACTOR SHALL CALL "BLUE STAKE CENTER AT 745-2211, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION, TO REQUEST VERIFICATION OF THE LOCATIONS OF ALL UTILITIES WITHIN THE WORK AREA. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COSTS INCURRED AS A RESULT OF DAMAGE TO UTILITIES CAUSED BY HIS OPERATIONS.
- PARCEL DIMENSIONS, REFERENCE BEARINGS AND BENCHMARKS, TOPOGRAPHY AND CULTURE DATA ARE TAKEN FROM THE SITE SURVEY MAP COMMISSIONED FOR THIS PROJECT. THE SUBJECT SURVEY DOCUMENT WAS PREPARED BY POLARIS LAND SURVEYING, L.L.C.
- TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES. TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
- PER DIRECTION OF CITY OF TUCSON PSDS, NO NATIVE PLANT PRESERVATION PLAN OR RAINWATER HARVESTING PLAN IS REQUIRED FOR THIS SUBMITTAL.
- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C-2 ZONING:

LOT COVERAGE CALCULATION:
MAXIMUM = N/A
ACTUAL = 96.199/145.660 = 66.0%

MAXIMUM BUILDING HEIGHT = 40'
ACTUAL BUILDING HEIGHT = 38' MAX.

BUILDING SETBACKS:

	REQUIRED	PROVIDED
NORTH	H=38'	299.1' MIN
EAST	0'	66.3' MIN
SOUTH	N/A	N/A
WEST (STREET, SIDE)	10'	189.8' MIN

*MEASURED FROM EXISTING BACK OF CURB

GENERAL NOTES (CONTINUED)

DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR O-3 ZONING:

LOT COVERAGE CALCULATION:
MAXIMUM = N/A
ACTUAL = 96.199/145.660 = 66.0%

MAXIMUM BUILDING HEIGHT = 40'
ACTUAL BUILDING HEIGHT = 38' MAX.

BUILDING SETBACKS:

	REQUIRED	PROVIDED
NORTH	H=38'	299.1' MIN
EAST	3/4H=28.5'	66.3' MIN
SOUTH	3/4H=13.6'	55.2' MIN
WEST (STREET, SIDE)	10'	78.6' MIN

*MEASURED FROM EXISTING BACK OF CURB

20. PARKING REQUIREMENTS FOR MEDICAL SERVICE - OUTPATIENT:

MOTOR VEHICLE: 1 SPACE PER 200 SF OF GFA
TOTAL REQUIRED = 34,188/200 = 171 SPACES
TOTAL PROVIDED = 173 SPACES

ACCESSIBLE SPACES REQUIRED = 6 SPACES
ACCESSIBLE SPACES PROVIDED = 6 SPACES

BICYCLE PARKING:

SHORT TERM: 1 SPACE PER 5,000 SF (2 MIN.)
TOTAL REQUIRED = 34,188/5,000 = 7 SPACES
TOTAL PROVIDED = 8 SPACES
LONG TERM: 1 SPACE PER 12,000 SF (2 MIN.)
TOTAL REQUIRED = 34,188/12,000 = 3 SPACES
TOTAL PROVIDED = 4 SPACES
*FOUR LONG-TERM SPACES ARE EXISTING

LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 1 SPACE

21. A FREESTANDING MONUMENT SIGN AND PARKING AREA LIGHTING ARE CURRENTLY PROVIDED WITHIN THIS DEVELOPMENT AND ARE TO REMAIN.

22. THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR UDC SEC. 5.4. MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R); AND UDC SEC. 5.5. GATEWAY CORRIDOR ZONE (GCZ).

23. SITE EXPANSION CALCULATION:

AREA OF EXISTING BUILDINGS/COVERED STRUCTURES = 14,000 SF
AREA OF STRUCTURES APPROVED BY D08-007 (BUT NOT BUILT) = 19,000 SF
TOTAL AREA OF APPROVED STRUCTURES = 33,000 SF
AREA OF EXISTING STRUCTURES BEING REMOVED = 0 SF
AREA OF NEW BUILDINGS/COVERED STRUCTURES = 20,188 SF
EXPANSION PERCENTAGE = (20,188-19,000)/33,000 = +3.6%

AREA OF EXISTING PAVEMENT = 81,266 SF
AREA OF EXISTING PAVEMENT BEING REMOVED = 52,753 SF
AREA OF NEW PAVEMENT = 62,469 SF
EXPANSION PERCENTAGE = (62,469-52,753)/81,266 = +12.0%

TDOT GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK PER THE PLANS.
- IT IS THE OWNER'S RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA CLEAR OF VEGETATION AT ALL TIMES, PER LAND USE CODE (LUC) SECTION.
- IT IS THE OWNER RESPONSIBLE TO KEEP VEGETATION FROM GROWING PAST THE CURB LINE CLEAR, AND KEEP A 15' HIGH CLEAR ZONE OVER THE TRAVEL LANE.
- FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
- THE OWNER UNDERSTANDS THAT IF THE CITY OF TUCSON TRANSPORTATION DEPARTMENT OR ANY UTILITY COMPANY NEEDS TO WORK WITHIN THE ROW IN THE LANDSCAPED AREA, PLANTS AND IRRIGATION MAY BE DESTROYED WITHOUT REPLACEMENT OR REPAIR.
- THE OWNER TAKES FULL LIABILITY FOR THIS LANDSCAPE AND IRRIGATION, AND ANY DAMAGE TO ROADWAY, SIDEWALK AND UTILITIES.
- THE ONLY PRIVATE IRRIGATION EQUIPMENT THAT IS ALLOWED WITHIN THE ROW ARE LATERAL LINES, TUBING AND EMITTERS THAT ARE NOT UNDER CONSTANT PRESSURE. ALL OTHER EQUIPMENT MUST BE ON PRIVATE PROPERTY. (EXCLUDING WATER METER)
- CONTRACTOR TO OBTAIN A RIGHT OF WAY EXCAVATION PERMIT PRIOR TO CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

CITY OF TUCSON UDC COMPLIANCE NOTES

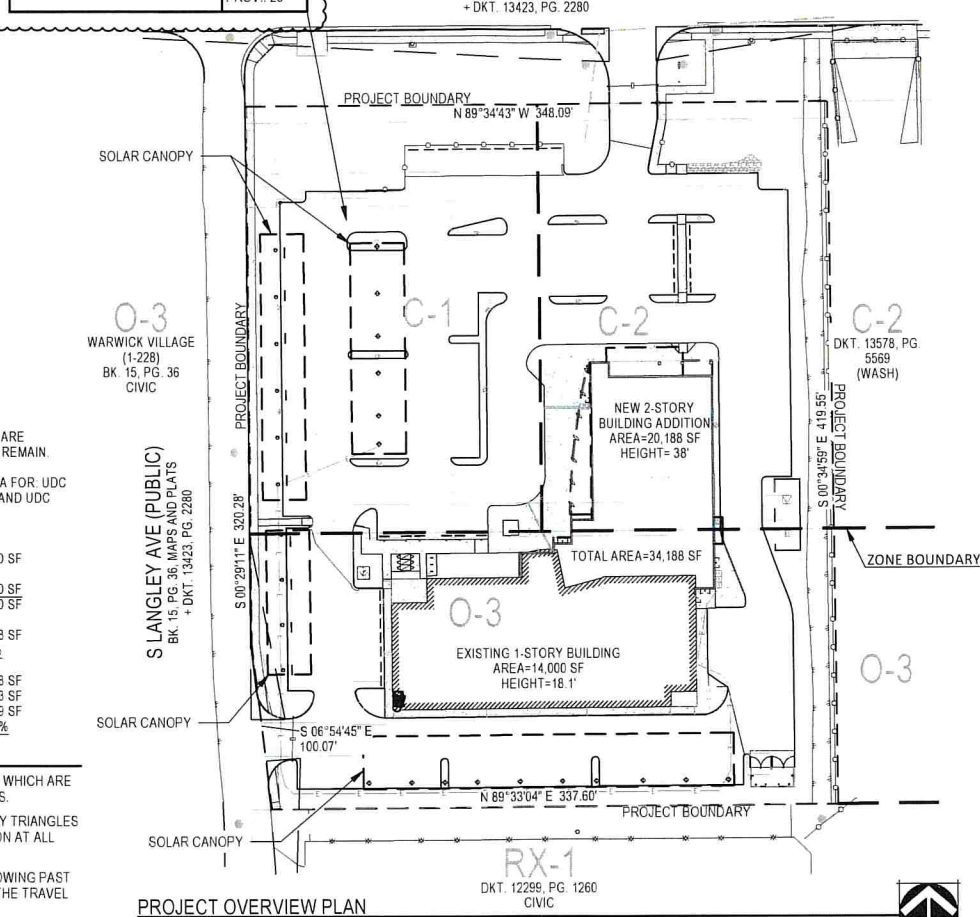
- THIS LANDSCAPE PLAN CONFORMS WITH THE FOLLOWING SECTIONS OF ARTICLE 7.6 - LANDSCAPING AND SCREENING OF THE CITY OF TUCSON UNIFIED DEVELOPMENT CODE ADOPTED 10/9/2012.

- SECTION 4 - LANDSCAPE STANDARDS
- SECTION 5 - SCREENING STANDARDS
- SECTION 6.A - USE OF WATER - WATER CONSERVATION DESIGN
- SECTION 6.E - USE OF WATER - IRRIGATION
- SECTION 8 - MAINTENANCE

COT UDC ARTICLE 7.6.4.B - VEHICULAR USE AREA. 1 CANOPY TREE IS REQUIRED FOR EVERY 4 PARKING SPACES. EVERY PARKING SPACE MUST BE LOCATED WITHIN 40' OF THE TRUNK OF A CANOPY TREE.

173 PARKING SPACES
83 COVERED BY SOLAR CANOPIES
90 UNCOVERED

TREES REQ.
REQ.: 0
REQ.: 23
PROV.: 28



PROJECT OVERVIEW PLAN

SCALE: 1"=50'

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS PROJECT IS A STRAIGHT LINE BETWEEN TWO FOUND SURVEY MONUMENTS ON GOLF LINKS ROAD AS SHOWN ON THIS PLAN, MEASURED PER ARIZONA STATE PLANE COORDINATES, CENTRAL ZONE, PER PIMA COUNTY GEODETIC CONTROL POINTS. THE BEARING OF SAID LINE IS N 89°34'43" E.

BASIS OF ELEVATION

THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PC-COT GEODETIC CONTROL POINT "FP04" DESCRIBED AS AN ALUMINUM CAP STAMPED "FP04 CITY OF TUCSON RLS 30352" LYING 10 FEET ± NORTH OF A STREET LIGHT ON THE NORTHWEST CORNER OF CALLE ILEO AND KOLB ROAD. THE ELEVATION OF SAID BENCHMARK IS 2,666.10', NAVD 88 DATUM.

LINETYPE AND SYMBOL LEGEND

---	PROJECT BOUNDARY
---	RIGHT-OF-WAY
---	OTHER PARCEL LINE
---	ROADWAY CENTERLINE
---	EXISTING EASEMENT
---	EXISTING CONTOUR
---	ZONE BOUNDARY
---	EXISTING PAVEMENT EDGE
---	EXISTING CURB
---	EXISTING PAINT STRIPE
---	EXISTING CONCRETE
---	EXISTING FENCE
---	EXISTING RAILING
---	NEW CURB
---	NEW PAINT STRIPE
---	NEW CONCRETE
---	NEW RAILING
---	NEW WALL
---	EXISTING SIGN
---	EXISTING STREET/TRAFFIC LIGHT
---	EXISTING STORM DRAIN MANHOLE
---	EXISTING STORM DRAIN PIPE
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING SEWER MANHOLE
---	EXISTING SEWER CLEANOUT
---	EXISTING WATER METER
---	EXISTING BACKFLOW PREVENTER
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING FIRE CONNECTION
---	EXISTING ELECTRIC METER
---	EXISTING LIGHT PULL BOX
---	EXISTING POWER POLE

LINETYPE AND SYMBOL LEGEND CONTINUED

---	NEW SEWER
---	NEW WATER
---	NEW FIRE SERVICE
---	NEW SIGN
---	NEW STREET/TRAFFIC LIGHT
---	NEW FIRE HYDRANT
---	NEW TRANSFORMER
---	NEW ELECTRIC EQUIPMENT
---	NEW TELEPHONE PEDESTAL
---	SURVEY MONUMENTATION AS NOTED
---	PARKING SPACE COUNT
---	ZONING DIVISION
---	SIGHT VISIBILITY TRIANGLE
---	RIGHT-OF-WAY
---	RADIUS
---	PAVEMENT (ASPHALT)
---	CONCRETE
---	FINISHED FLOOR ELEVATION
---	INVERT



LANDSCAPE ARCHITECT

NORRIS DESIGN
418 NORTH TOOLE AVENUE
TUCSON, ARIZONA 85701
ATTN: MR. JASON KUKLINSKI
PH: (520) 622-9565
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ARCHITECT

BWS ARCHITECTS
261 N COURT AVE
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ATTN: MS. TARYN MCGANN
PH: (520) 795-2705
E: tmcgann@bwsarchitects.com

ENGINEER

CYPRESS
2030 EAST SPEEDWAY BLVD
SUITE #110
TUCSON, AZ 85719
ATTN: KEVIN HALL
PH: (520) 499-2456
E: kmhall@cypresscivil.com

SHEET INDEX

1. COVER SHEET	7. LANDSCAPE COVER
2. NOTES	8. SCHEDULE AND NOTES
3. SITE PLAN	9. LANDSCAPE PLAN
4. GRADING + DRAINAGE PLAN	10. IRRIGATION PLAN
5. UTILITIES + EASEMENTS PLAN	11. LANDSCAPE DETAILS
6. DETAILS	12. LANDSCAPE DETAILS
	13. IRRIGATION DETAILS

NO.	DATE	REVISION DESCRIPTION	BY
1	02.26.2015	REVISED PLANTING TO ACCOMMODATE NEW SOLAR CANOPIES	ARC



CYPRESS PROJECT NO: 17.086
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

OWNER/DEVELOPER
EL RIO COMMUNITY HEALTH CENTER
3480 EAST BRITANNIA DRIVE, SUITE 120
TUCSON, ARIZONA 85706
ATTN: RICHARD SPAULDING
PH: (520) 977-0789
EMAIL: richardgs@elrio.org

SITE ADDRESS

6950 EAST GOLF LINKS ROAD
TUCSON, ARIZONA 85730

DEVELOPMENT PACKAGE for EL RIO SOUTHEAST EXPANSION LANDSCAPE COVER



418 North Toole Avenue
Tucson, AZ 85701
P 520.622.9565
www.norris-design.com



<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscaping _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

A PORTION OF THE N.E. 1/4 OF THE N.E. 1/4 OF SECTION 30, T. 14 S., R. 15 E., G. & S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DP18-0016
REF: D08-0007; C9-05-21; T08SA00223

LANDSCAPE GENERAL NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT IMMEDIATELY.
2. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
4. LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.
5. SIGHT VISIBILITY TRIANGLES SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 30 INCHES PER ARTICLE 7.6.6.E OF THE COT UDC.
6. MAINTENANCE: ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING AS REQUIRED BY ARTICLE 7.6.8 OF THE COT UDC.
7. ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEEDED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUND COVER.
8. THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. PLANT SIZE, LOCATION AND SPACING:
- A. TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFFSITE UTILITY SERVICE LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS TO AN ADJACENT PROPERTY.
- B. ALL SHRUBS AND GROUNDCOVERS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
10. PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID PROPOSED UTILITIES, EXISTING PRESERVED VEGETATION, AND OTHER FIELD CONDITIONS. CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
11. THE CONTRACTOR SHALL SCHEDULE UTILITY LOCATION SERVICES AND TAKE EXTREME CARE WHILE WORKING WITHIN THE PROJECT AREA AS TO NOT DISTURB ANY EXISTING UTILITIES OR STRUCTURES ON OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND OR REPAIRING ANY EXISTING STRUCTURES OR UTILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
12. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE PROPERTY LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
13. NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE OF ANY INSPECTIONS AND / OR APPROVALS OF LANDSCAPE MATERIAL AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
14. THE CONTRACTOR SHALL WARRANTY THE PLANT MATERIAL, IRRIGATION SYSTEM AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR.
15. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL AND SOIL STABILIZATION MEASURES ON SLOPES EXCEEDING 3:1.
16. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS. FOR A MINIMUM PERIOD OF ONE YEAR. AS NECESSARY OR AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE THE CONTRACTOR SHALL REMOVE STAKING AND GUYING, PRIOR TO THE FINAL, ONE YEAR WALK THROUGH.
17. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.

LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
TREES				
	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	15 GAL	8
	Prosopis hybrid 'Leslie Roy'	Leslie Roy Mesquite	15 GAL	3
	Chilopsis linearis 'Sweet Katie Burgandy'	Sweet Katie Burgandy Desert Willow	15 GAL	6
	Existing Trees to Remain	HM-Hybrid Mesquite SA-Sweet Acacia BP-Blue Palo Verde WA-Whitethorn Acala	X' - HT	43
SHRUBS				
	Caesalpinia pulcherrima	Red Bird of Paradise	5 GAL	2
	Dasylirion wheeleri	Desert Spoon	5 GAL	28
	Leucophyllum laevigatum	Chihuahuan Sage	5 GAL	27
	Hamelia patens	Firecracker Bush	5 GAL	10
ACCENTS				
	Agave weberii	Weber's Agave	15 GAL	6
	Aloe x 'Blue Elf'	Blue Elf Aloe	1 GAL	79
	Euphorbia antisyphallica	Candelilla	1 GAL	65
	Hesperaloe funifera	Giant Hesperaloe	5 GAL	3
	Hesperaloe parviflora	Red Yucca	5 GAL	11
	Muhlenbergia capillaris 'Regal Mist'	Regal Mist	5 GAL	27
	Pedilanthus macrocarpus	Lady's Slipper	5 GAL	21
GROUNDCOVERS				
	Lantana montivdensis	Trailing Lantana	5 GAL	67
	Sotroasea pallida	Purple Heart	5 GAL	51
	Wedelia trilobata	Yellow Dot	5 GAL	11
INERT GROUNDCOVERS				
	Decomposed Granite Color: Desperado Gold Detail: 11-4	1/2" Select Available from Pioneer 520.579.9043		17,185 S.F.
	Mexican Beach Pebble Detail: 11-4	1/2"-1" Unpolished Available from Pioneer 520.579.9043		1,437 S.F.
	Surface Select Boulder Detail: 11-7	2' x 2'		5
	Surface Select Boulder Detail: 11-7	18" x 18"		9
SITE AMENITIES				
	Container at Drop Off Area Details: 11-5, 11-6	Bala Pot-Model: EAL3642 Color: To be determined by architect. Available from Old Town Fiberglass. Rep. Carol Brennan 602.852.0500		7
	Trash Receptacle Detail: 11-8	Model: 44-02103 Color: Natural Finish: Textured Available from Evergreen Building Products 360.647.5460		1

IRRIGATION GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
3. THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
4. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
5. THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK THE IRRIGATION CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
6. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OR THE IRRIGATION SYSTEM AND ITS COMPONENTS.
7. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
8. ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED, OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
9. ALL VALVE BOXES / LIDS SHALL BE PLASTIC WITH LOCKING COVERS, COLOR TO BE DESERT TAN. INSTALL PER THE CONSTRUCTION DETAILS.
10. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE.
11. GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. FOR TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT RAIN BIRD (800) 724-6247.
12. CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE IRRIGATION CONTROLLER TO THE END OF THE MAINLINE SERVING THAT CONTROLLER OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN A 10" ROUND VALVE BOX.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED); CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
14. PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
15. THE CONTRACTOR SHALL STAKE THE LOCATION OF THE MAINLINE, DRIP IRRIGATION LINES, CONTROL VALVES, GATE VALVES, ETC. AND SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
16. LAYOUT DRIP LATERALS PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. BURY 3/4" DRIP LATERAL AT 12" DEPTH AND STAKE IN PLACE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" DRIP LATERAL AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
17. TREES, SHRUBS, GROUND COVER AND CACTI SHALL BE IRRIGATED BY MULTI-PORT OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.

IRRIGATION SLEEVEING NOTES

1. INSTALLATION OF SLEEVEING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF WORK.
2. ANY ADDITIONAL SLEEVES NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.
3. THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES, UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
4. ALL SLEEVES SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
5. SLEEVEING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, VALVE CONTROL AND COMMUNICATION WIRES, AND LATERALS UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVEING.












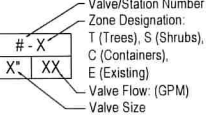
SLEEVED PIPE SIZE/WIRE QTY.

3/2"-1" PIPING
1-50 CONTROL WIRES

REQUIRED SLEEVE SIZE AND QTY.

2" PVC (1)
2" PVC (1)

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
	IRRIGATION POINT OF CONNECTION	NA	Existing 1" Irrigation Meter		
	IRRIGATION METER	NA	Existing 1" Irrigation Meter		
	BACKFLOW PREVENTER	NA	Existing Backflow Preventer In Security Enclosure	Confirm model, size and condition	
	IRRIGATION CONTROLLER	RAINBIRD	Controller (ESP-LX Basic) 12 Stations	Metal Cabinet Wall Mount	12 - 1
	SENSOR	RAINBIRD	Rain Sensor (WR-2)	Wired and wall mount	12 - 2
	VALVE ASSEMBLY DRIP	RAINBIRD	1" Sch 80 PVC Ball Valve 1" PEB Valve (100-PEB) 1" Wye Filter (RBY100) 3/4" Pressure Regulator (PSI-L30X-075)		12 - 5
	EXISTING VALVE ASSEMBLY DRIP	RAINBIRD	1" Sch 80 PVC Ball Valve 1" PEB Valve (100-PEB) 1" Wye Filter (RBY100) 3/4" Pressure Regulator (PSI-L30X-075)		12 - 5
	PVC SLEEVEING	NA	Sch. 40 PVC	See Irrigation Notes for Sizing Info	12 - 3
	EXISTING PVC MAINLINE	NA	Existing 1" Sch. 40 PVC	Unless otherwise noted on plan	
	DRIP LATERAL	NA	3/4" Sch. 40 PVC	Unless otherwise noted on plan	12 - 4
	END CAP	NA	Flush End Cap		13 - 3
VALVE CALLOUTS		EMITTER SCHEDULE			
		PLANT TYPE	EMITTER	OUTLET	
		Valve/Station Number	CACTI / ACCENTS	Rain Bird XBT-05-6	1-0.5 GPH Outlet
		Zone Designation:	1 GAL PLANTS	Rain Bird XBT-10-6	1-1 GPH Outlet
		T (Trees), S (Shrubs)	5 GAL PLANTS	Rain Bird XBT-10-6	2-1 GPH Outlets
		C (Containers), E (Existing)	15 GAL TREES	Rain Bird XBT-20-6	6-2 GPH Outlets
		Valve Flow: (GPM)	EXISTING TREE	Rain Bird XBT-20-6	6-2 GPH Outlets
		Valve Size	CONTAINERS	Rain Bird SXB-180-SPYK	2 ADJ Bubblers
NOTES					
1. ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XBT SERIES MULTI-PORT EMITTERS.					
2. ALL CONTAINERS SHALL BE IRRIGATED W/ MINIMUM (2) RAIN BIRD SXB SPIKE ADJUSTABLE BUBBLERS PER CONTAINER. ADJUST RADIUS AND FLOW FOR COVERAGE AND WATER NEEDS.					
3. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.					
4. RAIN BIRD DBC-025 DIFFUSER BUG CAP ON ALL 1/4" DISTRIBUTION TUBING.					

IRRIGATION POINT OF CONNECTION NOTES

1. EXISTING SYSTEM: THERE IS AN EXISTING AUTOMATED DRIP IRRIGATION SYSTEM ON SITE. THE INTENT IS THAT THE EXISTING SYSTEM WILL BE MODIFIED AND EXTENDED TO NEW PLANTINGS. THE EXISTING SYSTEM SHALL BE MAINTAINED IN WORKING CONDITION FOR EXISTING PLANTINGS AND SHALL NOT BE TURNED OFF FOR A PERIOD LONGER THAN 24 HOURS AT ANY ONE TIME WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ADD VALVES, LATERALS AND EMITTERS AS SHOWN TO PROVIDE IRRIGATION TO ALL EXISTING AND PROPOSED PLANT MATERIAL.
2. POINT OF CONNECTION LOCATION: CONTRACTOR TO CERTIFY THE EXISTING BACKFLOW PREVENTER AND PROVIDE DOCUMENTS TO OWNER'S REPRESENTATIVE. CONTRACTOR SHALL VERIFY LOCATION, SIZE AND PIPE OF MAINLINE PRIOR TO THE START OF WORK.
3. CONTROLLER LOCATION: CONTRACTOR SHALL INSPECT THE CONDITION OF THE EXISTING CONTROLLER AND WIRE CONNECTIONS. IF CONTROLLER IS IN GOOD WORKING CONDITION AND HAS CAPACITY FOR PROPOSED VALVES, IT MAY BE REUSED. IF THE CONTROLLER IS FOUND TO BE DEFECTIVE OR UNABLE TO ACCOMMODATE NEW VALVES, THE CONTROLLER SPECIFIED SHALL BE INSTALLED. COORDINATE THE CONTROLLER INSPECTION WITH THE OWNER'S REPRESENTATIVE PRIOR TO ANY MODIFICATIONS TO THE EXISTING CONTROLLER.
- A. NEW CONTROLLER SHALL BE INSTALLED IN THE SAME LOCATION AS EXISTING CONTROLLER. CONNECTION TO 120 VOLT POWER, ALL NECESSARY CONDUIT AND ALL RELATED EQUIPMENT SHALL CONFORM TO ALL LOCAL CODES. COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR ADDITIONAL INFORMATION REGARDING THE CONTROLLER.
- B. INTENT OF THE PROJECT IS THAT ALL EXISTING VALVE CONTROL WIRE IS TO BE REPLACED. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE.
4. RAIN SENSOR LOCATION: WALL MOUNT THE RAIN SENSOR ON THE FASCIA OF THE SOUTHWEST CORNER WALL OF THE BUILDING DIRECTLY ABOVE THE CONTROLLER LOCATION. RAIN SENSOR SHALL BE NO MORE THAN 200' FROM RECEIVER, IN FULL SUN AND OPEN TO RAIN. PROVIDE CONDUIT ON WALL FOR WIRE CONNECTION. PAINT CONDUIT TO MATCH EXTERIOR OF BUILDING. COORDINATE INSTALLATION OF RAIN SENSOR WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



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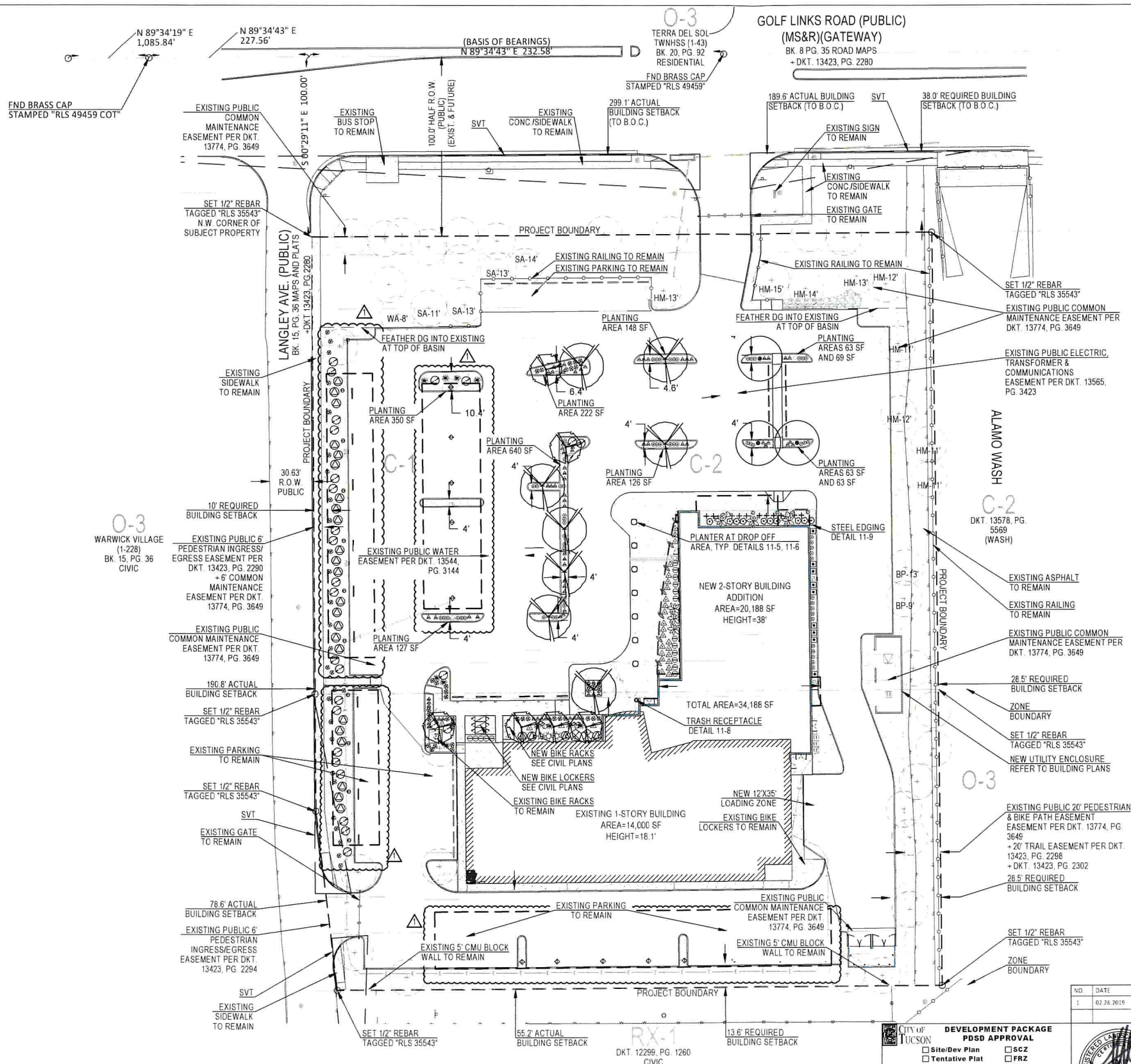
NO.	DATE	REVISION DESCRIPTION	BY
1	02.26.2019	REVISED PLANTING TO ACCOMMODATE NEW SOLAR CANOPIES	ARC

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL <input type="checkbox"/> Site/Dev Plan <input type="checkbox"/> Tentative Plat <input type="checkbox"/> Grading <input type="checkbox"/> SWPPP <input type="checkbox"/> FUP DVPKG MGR _____ Date _____ Zoning _____ Date _____ Engineering _____ Date _____ H/C Site _____ Date _____ Fire _____ Date _____ Landscape _____ Date _____ PL/ME _____ Date _____ Revision # _____ <input type="checkbox"/> per letter in SIRE	 CYPRESS PROJECT NO: 17.086 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com	OWNER/DEVELOPER EL RIO COMMUNITY HEALTH CENTER 3480 EAST BRITANNIA DRIVE, SUITE 120 TUCSON, ARIZONA 85706 ATTN: RICHARD SPAULDING PH: (520) 977-0789 EMAIL: richardgs@elrio.org SITE ADDRESS 6950 EAST GOLF LINKS ROAD TUCSON, ARIZONA 85730
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A PORTION OF THE N.E. 1/4 OF THE N.E.
1/4 OF SECTION 30, T. 14 S., R. 15 E.,
G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

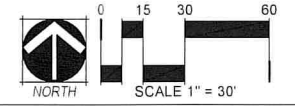
**DEVELOPMENT PACKAGE for
EL RIO SOUTHEAST EXPANSION
SCHEDULE AND NOTES**

DP18-0016
REF: D08-0007; C9-05-21; T08SA00223



LANDSCAPE SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
TREES				
	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	15 GAL	8
	Prosopis hybrid 'Leslie Roy'	Leslie Roy Mesquite	15 GAL	3
	Chilopsis linearis 'Sweet Katie Burgandy'	Sweet Katie Burgandy Desert Willow	15 GAL	6
	Existing Trees to Remain	SA-Sweet Acacia BP-Blue Palo Verde WA-Whitethorn Acaia	X' - HT.	43
SHRUBS				
	Caesalpinia pulcherrima	Red Bird of Paradise	5 GAL	2
	Dasyliroia wheeleri	Desert Spoon	5 GAL	28
	Leucophyllum laevigatum	Chihuahuan Sage	5 GAL	27
	Hamelia patens	Firecracker Bush	5 GAL	10
ACCENTS				
	Agave weberi	Weber's Agave	15 GAL	6
	Aloe x 'Blue Elf'	Blue Elf Aloe	1 GAL	79
	Euphorbia antisyphallica	Candelilla	1 GAL	65
	Hesperaloe funifera	Giant Hesperaloe	5 GAL	3
	Hesperaloe parviflora	Red Yucca	5 GAL	11
	Muhlenbergia capillaris 'Regal Mist'	Regal Mist	5 GAL	27
	Pedilanthus macrocarpus	Lady's Slipper	5 GAL	21
GROUNDCOVERS				
	Lantana montivdensis	Trailing Lantana	5 GAL	67
	Soteresaea pallida	Purple Heart	5 GAL	51
	Wedelia trilobata	Yellow Dot	5 GAL	11
INERT GROUNDCOVERS				
	Decomposed Granite Color: Desperado Gold Detail: 11-4	1/2" Select Available from Pioneer 520.579.9043	17,185 S.F.	
	Mexican Beach Pebble Detail: 11-4	1/2"-1" Unpolished Available from Pioneer 520.579.9043	1,437 S.F.	
	Surface Select Boulder Detail: 11-7	2' x 2'	5	
	Surface Select Boulder Detail: 11-7	18" x 18"	9	
SITE AMENITIES				
	Container at Drop Off Area Details: 11-5, 11-6	Bala Pot-Model: BAL3642 Color: To be determined by architect. Available from Old Town Fiberglass. Rep. Carol Brennan 602.852.0500		7
	Trash Receptacle Detail: 11-6	Model: 44-C2103 Color: Natural Finish: Textured Available from Evergreen Building Products 360.647.5460		1

NOTE: EXISTING TREES USED FOR NEW PARKING AREA CODE COMPLIANCE LABELED WITH SPECIES ABBREVIATION AND HEIGHT.



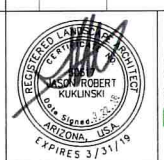
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CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

☐ Site/Dev Plan ☐ SCZ
☐ Tentative Plat ☐ FRZ
☐ Grading ☐ HDZ
☐ SWPPP ☐ WASH
☐ FUP ☐ Other

DVPKG MGR _____ Date _____
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Engineering _____ Date _____
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Fire _____ Date _____
Landscape _____ Date _____
PL/ME _____ Date _____
Revision # _____ ☐ per letter in SIRE



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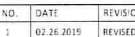
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COUNTY, ARIZONA

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SITE ADDRESS 6950 EAST GOLF LINKS ROAD TUCSON, ARIZONA 85730	
DEVELOPMENT PACKAGE for EL RIO SOUTHEAST EXPANSION LANDSCAPE PLAN	

DP18-0016
REF: D08-0007; C9-05-21; T08SA00223
9 OF 13



VALVE CALL/OUTS		EMITTER SCHEDULE		
		PLANT TYPE	EMITTER	OUTLET
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> # - X* T (Trees), S (Shrubs), C (Existing) X* - XX </div>	Valve/Station Number Zone Designation	CACTI / ACCENTS	Rain Bird XBT-05-6	1-0.5 GPH Outlet
		1 GAL PLANTS	Rain Bird XBT-10-6	1-1 GPH Outlet
		5 GAL PLANTS	Rain Bird XBT-10-6	2-1 GPH Outlets
		15 GAL TREES	Rain Bird XBT-20-6	6-2 GPH Outlets
		EXISTING TREE	Rain Bird XBT-20-6	6-2 GPH Outlets
		CONTAINERS	Rain Bird SXB-180-SPYK	2 ADJ Bubblers

- | | | | | |
|-----|------------|--|-----|-----------------|
| NO. | DATE | REVISION DESCRIPTION | BY | OWNER/DEVELOPER |
| 1 | 02.26.2019 | REVISED PLANTING TO ACCOMMODATE NEW SOLAR CANOPIES | ARC | |
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CYPRESS

CIVIL DEVELOPMENT

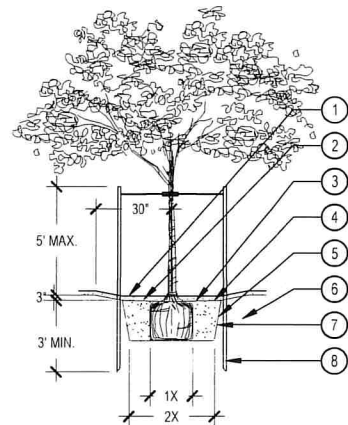
strength + sustainability

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- SITE ADDRESS**
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CITY OF TUCSON		DEVELOPMENT PACKAGE PDSB APPROVAL	
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<input type="checkbox"/> Tentative Plat		<input type="checkbox"/> FRZ	
<input type="checkbox"/> Grading		<input type="checkbox"/> HDZ	
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<input type="checkbox"/> FUP		<input type="checkbox"/> Other	
DVPPKG MGR	_____	Date	_____
Zoning	_____	Date	_____
Engineering	_____	Date	_____
H/C Site	_____	Date	_____
Fire	_____	Date	_____
Landscape	_____	Date	_____
PL/ME	_____	Date	_____
Revision #	_____	per letter in S	_____



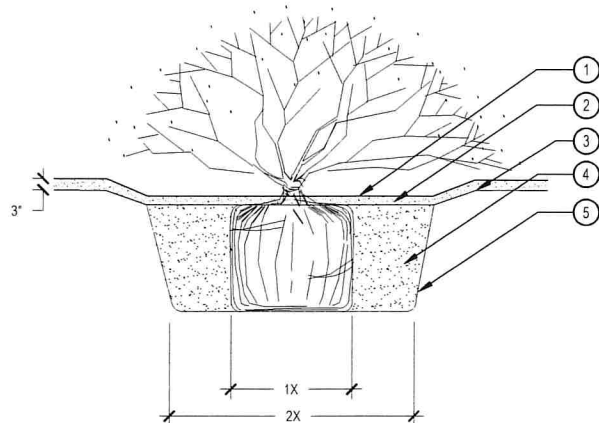
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- NOTES:
1. SET TOP OF ROOTBALL 4" BELOW TOP OF TREE WELL. ORGANIC MULCH AS REQUIRED.
 2. DRIVE TREE STAKES 3" MIN. INTO GROUND TO FIRM BEARING. TAKE CARE NOT TO DAMAGE ROOTBALL. SAW STAKES ABOVE TIE TO PREVENT ABRASION TO OTHER BRANCHES.
 3. INSTALL BERM ON DOWNSIDE OF SLOPES FOR TREES ON GRADE OF 5:1 OR GREATER.

1 SINGLE-TRUNK TREE STAKING

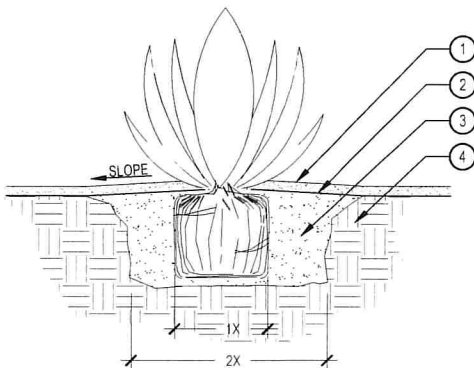
SCALE: NTS



- NOTE:
1. DO NOT DAMAGE THE SHRUB OR ROOTBALL WHEN REMOVING IT FROM ITS CONTAINER.
 2. BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
 3. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.

2 SHRUB / GROUNDCOVER PLANTING

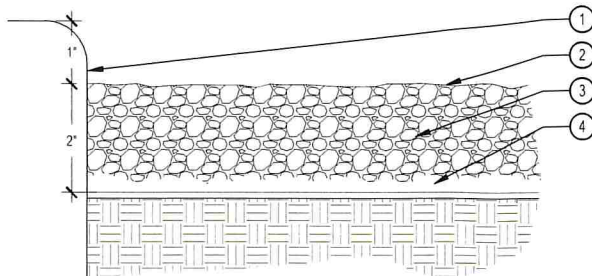
SCALE: NTS



- NOTE:
1. DO NOT CREATE BASIN AT BASE OF ACCENT.
 2. SLOPE BACKFILL AWAY FROM PLANT.
 3. USE DRY SITE SOIL ONLY IN PIT - NO MULCH.

3 ACCENT / CACTI PLANTING

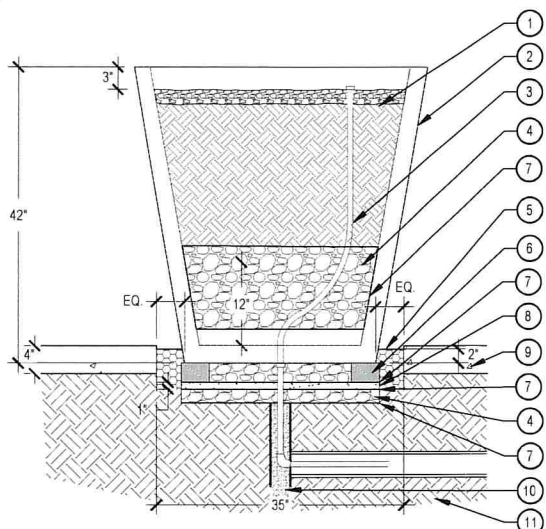
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- NOTE:
1. APPLY PRE-EMERGENT HERBICIDE PER LABEL DIRECTIONS AND RATE

4 INERT GROUND COVER

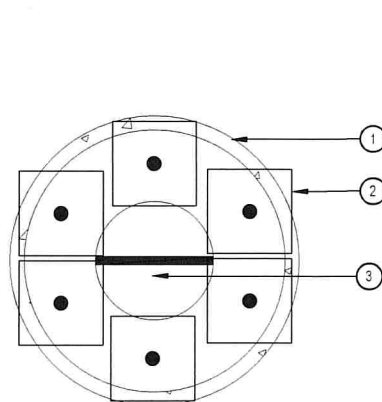
SCALE: 1/2" = 1'-0"



- 1/2" SCREENED ROCK - REFER TO LANDSCAPE LEGEND. 3" REVEAL FROM TOP EDGE OF CONTAINER
- PLANTER - REFER TO SITE AMENITY SCHEDULE
- PLANTER IRRIGATION, REFER TO DETAIL 13-2
- 3/4" ANGULAR ROCK
- 1/2"-1" MEXICAN BEACH PEBBLE UNPOLISHED FROM PIONEER - 520-294-0074. MAINTAIN 1/2" LOWER THAN TOP OF CONCRETE.
- CONCRETE PAVER - SET 3 EQUALLY SPACED AROUND BASE OF POT FOR SUPPORT AND TO LEVEL POT. PAVERS SHALL NOT BE VISIBLE. POT SHALL BE STABLE AND FREE OF MOVEMENT.
- FILTER FABRIC
- 1" SAND LEVELING COURSE
- CONCRETE - REFER TO CIVIL PLANS
- 3/4" PEA GRAVEL
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

5 CONTAINERS AT DROP OFF AREA

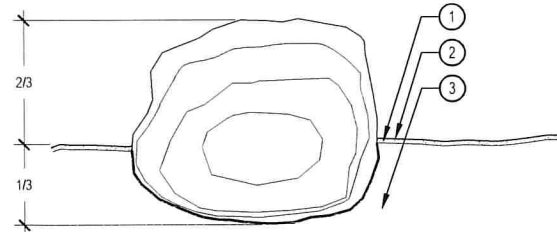
SCALE: 1" = 1'-0"



- CONTAINER, REFER TO DETAIL 11-5
- PURPLE HEART (SETECREASEA PALLIDA)
- LADY'S SLIPPER (PEDILANTHUS MACROCARPUS)

6 CONTAINER PLANTING

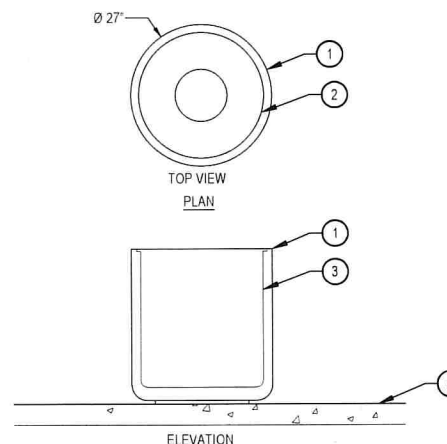
SCALE: 1" = 1'-0"



- NOTE:
1. PLACE BOULDER INTO GROUND SO THAT 1/3 OF THE BOULDER IS BELOW FINISH GRADE.
 2. DO NOT PLACE BOULDER DIRECTLY ONTO GRADE LEVEL, NOR SHOULD TOPSOIL OR ROCK MULCH BE ADDED TO BASE OF BOULDER TO ACHIEVE SETTING DEPTH.
 3. LET WATER SETTLE AND COMPACT BACKFILL.
 4. BOULDER SHALL BE PLACED SO AS TO HAVE A NATURAL APPEARANCE.
 5. BOULDERS SHALL BE PLACED TO BE STABLE SO AS NOT TO MOVE, ROCK OR ROLL.

7 BOULDER PLACEMENT

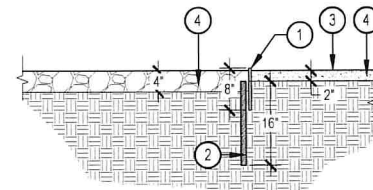
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- TRASH RECEPTACLE REFER TO SITE AMENITIES SCHEDULE
- LID REFER TO MANUFACTURER'S RECOMMENDATIONS
- PLOY LINER REFER TO MANUFACTURER'S RECOMMENDATIONS
- CONCRETE, REFER TO CIVIL PLANS

8 TRASH RECEPTACLE

SCALE: 3/4" = 1'



- 8" WIDE BY 1/4" THICK COLD ROLLED STEEL STRAP. 1/2" REVEAL ABOVE FINISH GRADE. SPOT WELD TO #4 REBAR
- #4 REBAR AT 24" ON CENTER
- FINISH GRADE
- INERT GROUNDCOVER PER SCHEDULE

9 STEEL EDGING

SCALE: NTS

CITY OF TUCSON	
DEVELOPMENT PACKAGE	
PDS APPROVAL	
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DVPKG MGR	Date
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PL/ME	Date
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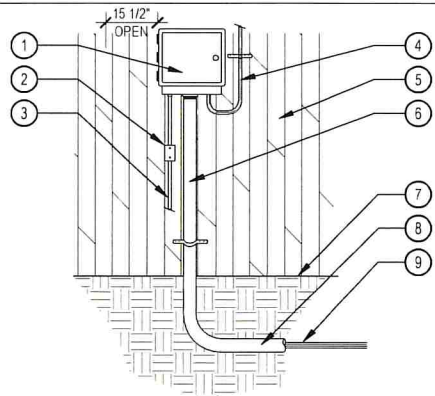


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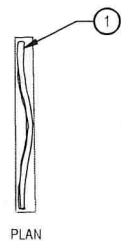
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DEVELOPMENT PACKAGE for
EL RIO SOUTHEAST EXPANSION
LANDSCAPE DETAILS

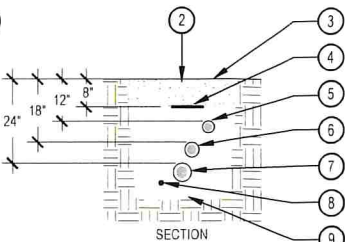


NOTE:
1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
2. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
3. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
4. PROVIDE LOCK FOR ENCLOSURE.

- 1 CONTROLLER MOUNT AT EYE-LEVEL PER MANUFACTURER'S RECOMMENDATIONS
- 2 DISCONNECT SWITCH
- 3 120 POWER SOURCE IN STEEL CONDUIT
- 4 WIRE FROM RAIN SENSOR IN CONDUIT
- 5 BUILDING EXTERIOR WALL
- 6 RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES
- 7 FINISH GRADE
- 8 CONDUIT TO EXTEND 5 FT. BEYOND WALL
- 9 UF DIRECT BURIAL WIRE TO REMOTE CONTROL VALVES.



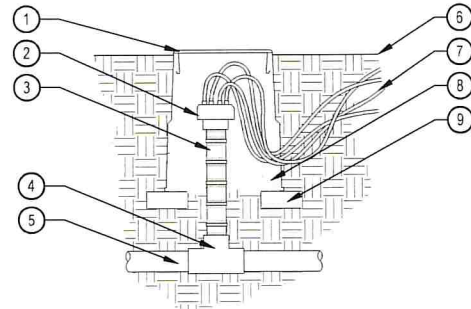
PLAN



SECTION

NOTE:
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
5. BUNDLE AND TAPE WIRING AT 10' INTERVALS
6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WIRE WITHIN TRENCH.
8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

- 1 SNAKE PVC OR POLYETHYLENE PIPE IN TRENCH
- 2 EXCAVATED COVER MATERIAL (SEE NOTES)
- 3 FINISH GRADE
- 4 INDICATOR TAPE (MAIN LINE)
- 5 PVC OR POLYETHYLENE DRIP LATERAL (12" MIN. COVERAGE, 18" MIN. COVERAGE BELOW PEDESTRIAN WALKS.)
- 6 IRRIGATION SUB-MAIN LATERAL
- 7 IRRIGATION MAINLINE
- 8 VALVE WIRING
- 9 BEDDING MATERIAL (SEE NOTES)

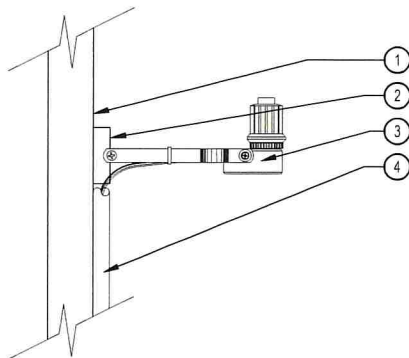


NOTE:
1. COMPACT SOIL AROUND MULTI-OUTLET EMITTER TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
2. WHEN SLOPING CONDITIONS OCCUR PLACE EMITTERS ON UPHILL SIDE OF PLANT MATERIAL.
3. DO NOT DISTURB ROOTBALL WITH THE INSTALLATION OF POLYETHYLENE DRIP TUBING OR DISTRIBUTION TUBING.
4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

- 1 6" ROUND BOX & COVER
- 2 MULTI-OUTLET EMITTER (6 OUTLETS)
- 3 POLY NIPPLE, LENGTH AS REQ.
- 4 ELL. OR TEE
- 5 POLY LATERAL LINE
- 6 FINISH GRADE
- 7 1/4" DISTRIBUTION TUBING MAX. LENGTH 8'
- 8 3/4" GRAVEL SUMP - 4" DEPTH
- 9 BRICK SUPPORTS 2 MIN.

1 WALL MOUNT IRRIGATION CONTROLLER

SCALE: NTS

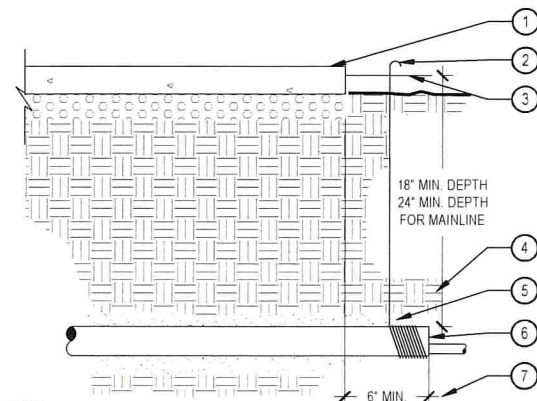


NOTE:
1. INSTALL WR-2 PER MANUFACTURER'S SPECIFICATIONS.
2. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
3. FINAL LOCATION AND MOUNTING SYSTEM TO BE APPROVED BY OWNERS REPRESENTATIVE.

- 1 SUITABLE FASCIA, WALL, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN AND IS OPEN TO RAINFALL.
- 2 SECURE WIRE TO EXTERIOR WALL.
- 3 WIRELESS RAIN SENSOR, LOCATE WITHIN 500' OF THE CONTROLLER.
- 4 RUN LEAD WIRES IN CONDUIT TO CONTROLLER. PROVIDE ATTACHMENT CLIPS PER CODE

2 RAIN SENSOR

SCALE: NTS



NOTE:
1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
2. CAP SLEEVES UNTIL USE
3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

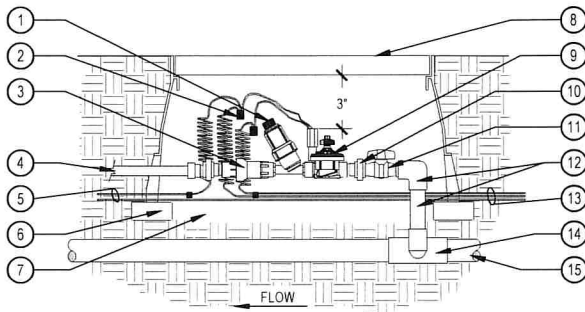
- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE.
- 3 FINISH GRADE / TOP OF DG.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 6 PVC SLEEVE PER SCHEDULE. TWICE DIAMETER OF THE SUM OF THE PIPES/ WIRES
- 7 EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

3 IRRIGATION SLEEVE

SCALE: NTS

4 IRRIGATION TRENCH

SCALE: NTS



NOTE:
1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

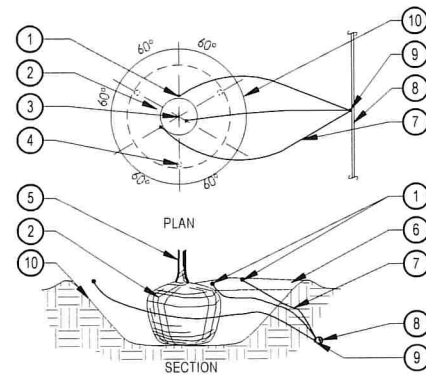
- 1 WYE FILTER PER SCHEDULE
- 2 WATERPROOF CONNECTORS
- 3 PRESSURE REGULATOR PER SCH.
- 4 PVC DRIP LATERAL
- 5 COMMON AND CONTROL WIRE TO NEXT VALVE(S)
- 6 BRICK SUPPORTS 4 MIN.
- 7 3/4" GRAVEL SUMP, 4" DEPTH
- 8 PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 9 CONTROL VALVE
- 10 SCH. 80 PVC UNION (TYP.) OF 2
- 11 PVC BALL VALVE PER SCHEDULE
- 12 SCH. 80 ELL AND NIPPLE
- 13 WIRES FROM CONTROLLER
- 14 SCH. 80 PVC TEE
- 15 PVC MAINLINE

5 DRIP VALVE ASSEMBLY

SCALE: NTS

6 MULTI-OUTLET EMITTER

SCALE: NTS



NOTE:
1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8'.
2. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
3. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. AT LEAST ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE EQUALLY SPACED WITHIN PLANT PIT PERIMETER.
4. SECOND EMISSION POINTS (AS NEEDED) AS PER THE EMITTER SCHEDULE.
5. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER DISTRIBUTION.

- 1 EMISSION POINT. DIFFUSER CAP W/ DRIP STAKE (TYP.)
- 2 PLANT ROOT BALL (TYP.)
- 3 PLANT CENTER (TYP.)
- 4 SECOND EMISSION POINTS SEE NOTE 3 & 4 BELOW
- 5 TREE TRUNK
- 6 MULCH LAYER
- 7 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')
- 8 3/4" PVC DRIP LATERAL
- 9 MULTI-PORT OUTLET EMITTER
- 10 PLANT PIT

7 TREE EMITTER PLACEMENT

SCALE: NTS

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Landscape _____	Date _____
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NO.	DATE	REVISION DESCRIPTION	BY
OWNER/DEVELOPER			
EL RIO COMMUNITY HEALTH CENTER			
3480 EAST BRITANNIA DRIVE, SUITE 120			
TUCSON, ARIZONA 85706			
ATTN: RICHARD SPAULDING			
PH: (520) 977-0789			
EMAIL: richardgs@elrio.org			
SITE ADDRESS			
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2030 east speedway boulevard			
suite #110			
tucson, arizona 85719			
ph: 520.499.2456			
e: kmhall@cypresscivil.com			
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DEVELOPMENT PACKAGE for EL RIO SOUTHEAST EXPANSION IRRIGATION DETAILS			

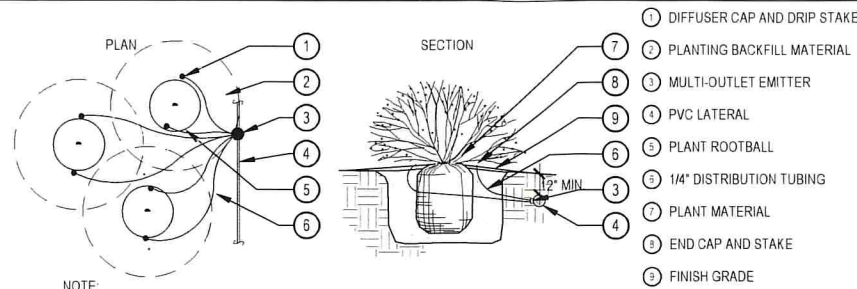


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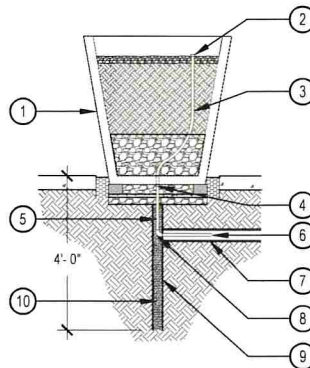
12 OF 13



- NOTE:
1. MAXIMUM LENGTH OF ONE 1/4\" DISTRIBUION TUBE SHALL BE 8'.
 2. ONE EMITTER - ON TOP OF ROOTBALL. TWO EMITTERS- SPACE ON OPPOSING SIDES OF ROOT BALL. THREE OR MORE EMITTERS - SPACE EQUALLY AROUND EDGE OF ROOTBALL.
 3. FLUSH ALL LINES THOROUGHLY, INCLUDING EMITTER DISTRIBUTION TUBING PRIOR TO EMITTER INSTALLATION.
 4. IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL BOTH EMITTERS ON THE UPHILL SIDE OF ROOTBALL.
 5. EMITTERS SHALL BE SELF-FLUSHING PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE WITHIN TECHNICAL SPECIFICATIONS.
 6. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

1 SHRUB EMITTER PLACEMENT

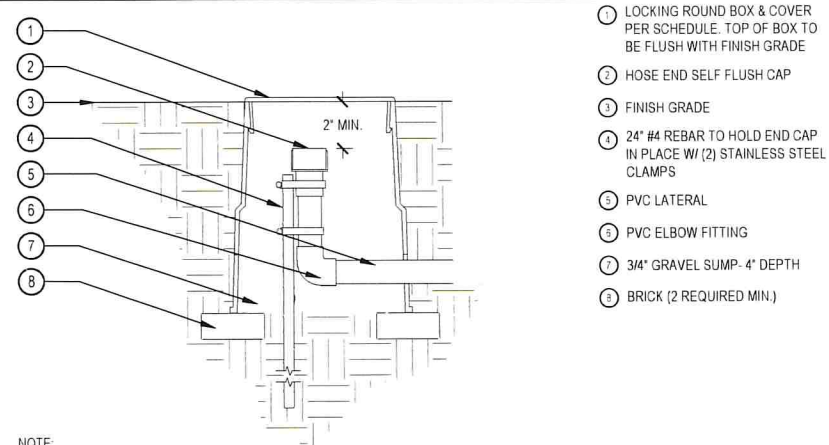
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- NOTE:
1. CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION. SLEEVES AND LATERALS SHALL BE INSTALLED PRIOR TO FLATWORK INSTALLATION.
 2. ALL CONTAINERS SHALL BE INTERNALLY SEALED BY CONTRACTOR.
 3. BACKFILL WITH PREPARED MIX PER LANDSCAPE PLAN.
 4. EQUALLY SPACE EMITTERS ON POLY FOR EVEN WATER DISTRIBUTION.

2 CONTAINER IRRIGATION

SCALE: NTS



- NOTE:
1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. SECURE STAKE TO FLUSH END CAP WITH A MINIMUM OF TWO STAINLESS STEEL WORM DRIVE CLAMPS.

3 DRIP FLUSH END CAP

SCALE: NTS

NO.	DATE	REVISION DESCRIPTION	BY

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL <input type="checkbox"/> Site/Dev Plan <input type="checkbox"/> Tentative Plat <input type="checkbox"/> Grading <input type="checkbox"/> SWPPP <input type="checkbox"/> FUP DVPKG MGR _____ Date _____ Zoning _____ Date _____ Engineering _____ Date _____ H/C Site _____ Date _____ Fire _____ Date _____ Landscape _____ Date _____ PL/ME _____ Date _____ Revision # _____ <input type="checkbox"/> per letter in SIRE	CYPRESS CIVIL DEVELOPMENT CYPRESS PROJECT NO: 17.086 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: kmhall@cypresscivil.com	OWNER/DEVELOPER EL RIO COMMUNITY HEALTH CENTER 3480 EAST BRITANNIA DRIVE, SUITE 120 TUCSON, ARIZONA 85706 ATTN: RICHARD SPAULDING PH: (520) 977-0789 EMAIL: richardgs@elrio.org SITE ADDRESS 6950 EAST GOLF LINKS ROAD TUCSON, ARIZONA 85730
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DEVELOPMENT PACKAGE for EL RIO SOUTHEAST EXPANSION IRRIGATION DETAILS